



# CHEROKEE WATER COMPANY - LAKE CHEROKEE

## ACCESSORY BUILDING NEW CONSTRUCTION; REPAIRS, RENOVATIONS OR IMPROVEMENTS TO EXISTING STRUCTURES

### BUILDING PERMIT APPLICATION

Shareholder: \_\_\_\_\_ Lot number: \_\_\_\_\_

Address: \_\_\_\_\_ City, state, zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Email: \_\_\_\_\_

Builder's name: \_\_\_\_\_

Builder's address: \_\_\_\_\_ City, state, zip: \_\_\_\_\_

Builder's phone number: \_\_\_\_\_ Builder's email: \_\_\_\_\_

This permit is requested for: \_\_\_\_\_

#### Conditions for permit issuance:

- Lot survey on file
- Scaled floor plan drawing (no larger than 8.5"x14")
- Scaled building elevation drawing (no larger than 8.5"x14")
- Scaled footprint drawing on survey with all setback measurements shown
- Proposed site staked out
- Septic requirements documented
- DIG-TESS (Texas811) confirmation # \_\_\_\_\_
- Application complete with shareholder signature

- No more than one single-family dwelling permitted on lot without permission of the Board of Directors
- Only buildings constructed on site will be permitted
- No permits will be issued on any share lot that has not been surveyed
- Work must be commenced within ninety (90) days from the date on which the permit is issued
- For residential structures, all exterior construction must be completed within twelve (12) months; for other non-residential structures, all exterior work must be completed within six (6) months. Permit extensions may be issued at the discretion of the Lake Manager or his/her designee
- No structure shall be located nearer than seventy-five (75) feet to the nearest water at spillway level; structures shall be built at least six (6) feet from property line of adjacent shareholders; no structure may be located within fifty (50) feet of the lake road; no structure shall be built which exceeds forty (40) feet in overall height
- Shareholders to furnish proof that adequate surface area remains to accommodate their sewer system when making an addition to their house or constructing a new house
- All accessory buildings require a minimum 4:12 pitch roof and a minimum twelve (12) inch overhang on all four (4) sides. The overall appearance must compliment the appearance of the primary dwelling. Gambrel roofs are an exception to this requirement. Prefab structures, snap together sheds and structures such as economy carports commonly seen for sale in lots along the highway will not be approved. No structures may be moved in- all will be site built.

#### ALL VARIANCES TO CURRENT CONSTRUCTION RULES AND REGULATIONS REQUIRE A VARIANCE REQUEST FORM BE COMPLETED (page 2)

**Preconstruction permit:** All conditions for permit issuance listed above must be completed BEFORE the application will be considered for approval by CWC

**Final build permit:** When concrete slab or pier and beam forms are set, contact the CWC office for inspection. A green tag will be placed on the forms if approved.

**I AGREE TO COMPLY WITH ALL PROVISIONS PROMULGATED AND ENFORCED BY THE CWC BOARD OF DIRECTORS, MY LEASE AGREEMENT, FEDERAL, STATE AND COUNTY REGULATIONS. I UNDERSTAND THAT IT IS MY SOLE RESPONSIBILITY TO ENSURE SUCH CONSTRUCTION IS IN COMPLIANCE.**

**I FURTHER AGREE THAT IF SUCH CONSTRUCTION DOES NOT COMPLY WITH CWC REGULATIONS, I UNDERSTAND THAT I WILL BE SUBJECT TO FINES AND RECONSTRUCTING THE STRUCTURE TO BE IN COMPLIANCE UNDER CWC REGULATIONS, WHICH I SHALL BEAR AT MY SOLE COST AND EXPENSE.**

Shareholder signature \_\_\_\_\_ Date \_\_\_\_\_ Attest and approve - CWC \_\_\_\_\_ Date \_\_\_\_\_

Preconstruction permit #: \_\_\_\_\_ Date: \_\_\_\_\_ Final build permit #: \_\_\_\_\_ Date: \_\_\_\_\_

Permit/road use Fee: \$ \_\_\_\_\_ \*based on enclosed square footage



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## CONSTRUCTION RULES AND REGULATIONS PERMIT/ROAD USE FEES

The construction permit/road use fees have been structured by the Rules/Property Committee.

ACCESSORY BUILDING  
BOATHOUSES, PIERS, DOCKS  
FENCES; DRIVEWAYS; RETAINING WALLS; DIRT WORK; DRAINAGE  
NEW CONSTRUCTION; REPAIRS, RENOVATIONS OR IMPROVEMENTS TO EXISTING STRUCTURES

### UNDER ROOF

0 - 500 square feet	\$ 225.00
501 - 1,500 square feet	\$ 450.00
1,501 - 2,500 square feet	\$1,000.00
2,501 - 4,000 square feet	\$1,500.00
4,001 - 6,000 square feet	\$2,000.00
6,001 - 7,500 square feet	\$3,000.00
7,501 – up square feet	\$4,000.00

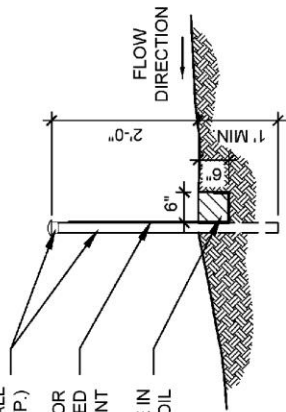
### MISCELLANEOUS PERMIT/ROAD USE FEES

Fences	\$ 100.00
Driveways	\$ 150.00
Open decks/docks	\$ 150.00
Swimming pools	\$ 150.00
Outdoor kitchens	\$ 150.00
Demolition - Structure	\$ 500.00
Move - Structure	\$ 500.00

STEEL "T" POST 6' O.C. - INSTALL REBAR CAPS ON "T" POST (TYP.)

MIRAFI 100X FILTER FABRIC OR APPROVED EQUAL W/STEEL MESHED BACK FOR REINFORCEMENT

EXCAVATE 6" TRENCH & TOE IN FABRIC WITH TRENCH SPOIL

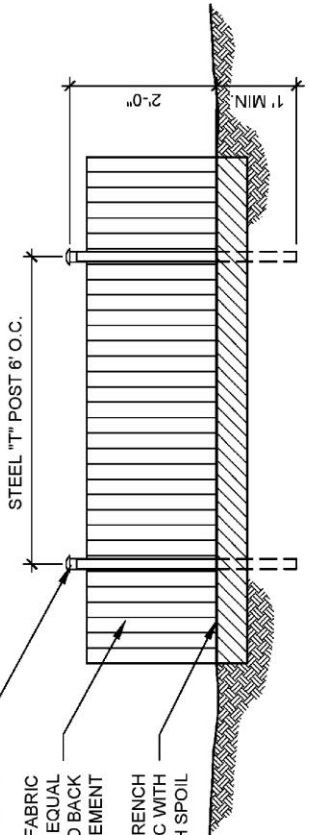


**SECTION**

INSTALL REBAR CAPS ON "T" POST (TYP.)

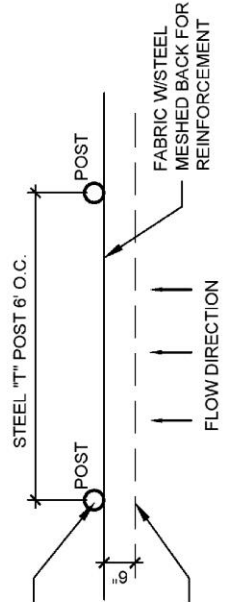
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EXCAVATE 6" TRENCH & TOE IN FABRIC WITH TRENCH SPOIL



**ELEVATION**

USE 14 GAUGE WIRE TO FASTEN FABRIC TO POST (EVERY 6" BEGINNING 3" FROM BOTTOM OF TRENCH OR APPROVED EQUAL METHOD)



**PLAN**

**SILT FENCE NOTES:**

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
3. THE TRENCH SHOULD BE A MINIMUM OF SIX INCHES DEEP AND SIX INCHES WIDE TO ALLOW FOR THE SILT FENCE TO BE LAID IN THE GROUND AND BACKFILLED.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST.
5. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF SIX INCHES AND DISPOSED OF IN AN APPROVED SPOIL SITE OR AS IN No. 7 ABOVE.
9. FILTER FABRIC IS TO BE MIRAFI 100X OR APPROVED EQUAL.
10. CONTRACTOR TO REMOVE SILT FENCE UPON COMPLETION OF PROJECT. DAMAGED AREAS TO BE REPAIRED INCLUDING RE-GRADING AND RE-GRASSING AS NECESSARY.
11. ALL EROSION CONTROL DEVICES AND REQUIREMENTS TO BE IN ACCORDANCE WITH NCTCOG BMP EROSION CONTROL MANUAL AND PLANS AND SPECIFICATIONS, UNLESS APPROVED BY OWNER, EROSION CONTROL FENCING SHALL BE USED IN AREAS WITH NO TREES ONLY.